

TOWN HALL RENOVATION

TOWNSHIP OF NORTH STORMONT

2.	ISSUED FOR ADDENDUM #1	2024.03.22
1.	ISSUED FOR TENDER/ PERMIT	2024.03.08
NO.	DESCRIPTION	DATE



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PROJECT

TOWNSHIP OF NORTH STORMONT - NEW TOWN HALL RENOVATION

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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE ARCHITECTURAL SYMBOLS ARE FOR GRAPHIC REPRESENTATION ONLY.

THIS DRAWING IS NOT TO BE SCALED.



The contractor shall check and verify all dimensions and report all errors and omissions to the architect and the design professional whose seal is affixed to the drawings. No drawings shall be used for construction unless the design professional whose seal is affixed to the drawings and whose signature is below.

SHEET TITLE

COVER PAGE/ ARCHITECTURAL DRAWING LIST/ MATERIAL SPECS/ OBC MATRIX

SHEET NO.	DRAWN BY	CHECKED
A000	AW	AW
SCALE	N.T.S.	

Name of Practice: ALEX WARWICK ARCHITECT ALEX WARWICK ALEX@WARWICKDESIGNSTUDIO.COM (416) 697-3008 Name of Project: TOWNHALL RENOVATIONS FOR NORTH STORMONT Location: 57 COCKBURN ST., BERWICK ONTARIO																																																	
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18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors N/A Hours Roof 3/4 Hours Mezzanine N/A Hours FRR of Supporting Members	Listed Design No. or Description (SG-2) N/A - EXISTING TO REMAIN N/A - EXISTING TO REMAIN N/A - EXISTING TO REMAIN Listed Design No. Or Description (SG-2)	3.2.2.20.-83 & 3.2.1.4.	9.10.8. 9.10.9.						
19	Spatial Separation - Construction of Exterior Walls			3.2.3.	9.10.14.						
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const.	Comb. Constr. Non-Cladding	Non-comb. Constr.
	North	N/A - EXISTING TO REMAIN									
	South	N/A - EXISTING TO REMAIN									
	East	N/A - EXISTING TO REMAIN									
	West	N/A - EXISTING TO REMAIN									
20	Plumbing Fixture Requirements										
	Male/Female Count @	50 % / 50 %									
	Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided							
	Basement: Occupancy	N/A									
	Occupancy	N/A									
	1st Floor: Occupancy	DAYCARE (CHILDREN)	49 (DESIGN)	3.7.4.3.1	5	5	3.7.4.3.1				
	Occupancy	DAYCARE (STAFF)	14 (DESIGN)	3.7.4.3.A	2	2	3.7.4.3.A				
	Occupancy	OFFICE	18 (DESIGN)	3.7.4.7	2	2	3.7.4.7				
	Occupancy	TOWNHALL	85 (DESIGN)	3.7.4.3.A	3	3	3.7.4.3.A				
	(Adjust as Required for Additional Floors or Occupancies)										
21	Other (describe)										
	15 (Occupant Load - Continued)										
	Floor	Occupancy	Load	persons							
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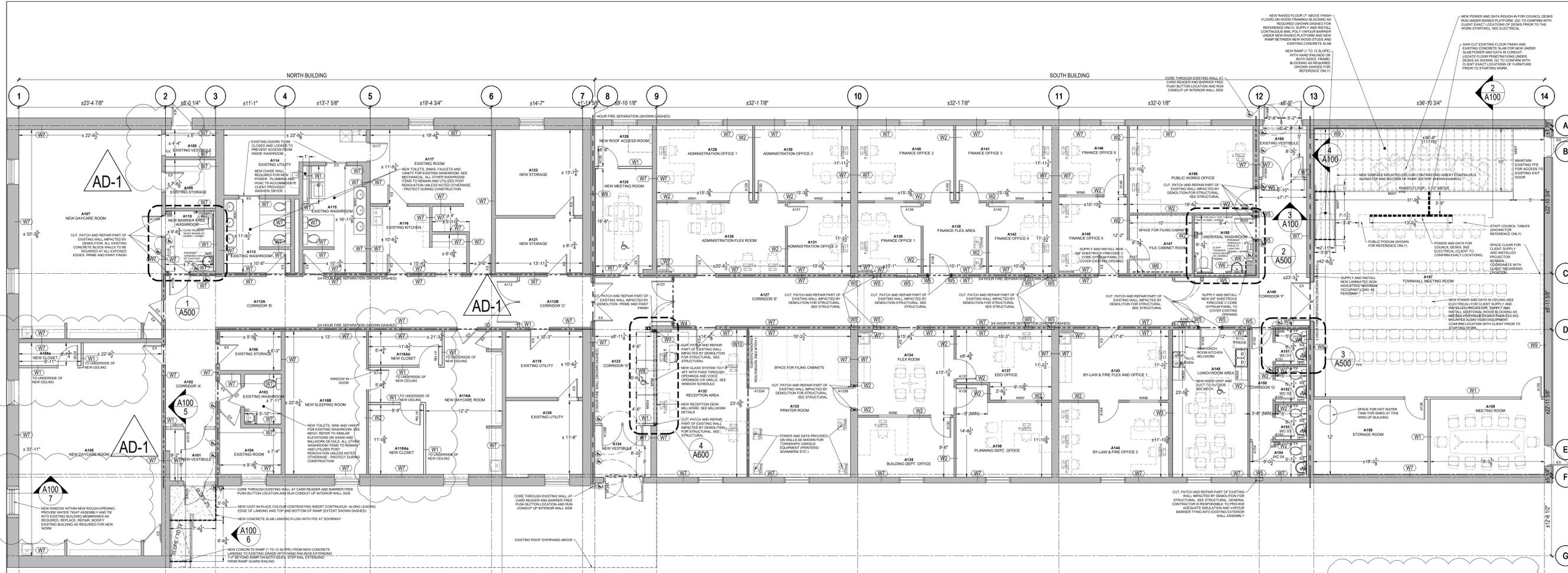
ARCHITECTURAL MATERIAL SPECIFICATIONS

- SELECTIVE DEMOLITION**
A) DEMOLITION OPERATIONS: DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE, NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED TO OWNER. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED.
B) UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES IN BUILDINGS TO BE DEMOLISHED. WHERE EXISTING UTILITIES ARE REQUIRING MODIFICATION FOR THE NEW WORK, CUT AND PATCH AS REQUIRED FOR THE NEW WORK AND BRING EXISTING UTILITY BACK TO EXISTING CONDITION.
C) SHORING AND BRACING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING AND BRACING.
- FRAMING (STUDS, TRACKS, BLOCKING)**: SEE PLAN FOR SIZES
A) METAL STUDS - SSMA STUD PROFILE (OR EQUAL), C-SHAPED OR HAT CHANNEL FURRING (SEE DRAWINGS), PUNCHED FOR UTILITY ACCESS.
B) METAL TRACKS - SSMA STUD TRACK PROFILE (OR EQUAL), SAME GAGE AND DEPTH AS STUDS, UNPUNCHED.
C) WOOD STUDS - SOLID WOOD SPF #2 BY MATERIAL, AS NOTED OR REQUIRED.
D) WOOD BLOCKING - SUPPLY AND INSTALL WOOD BLOCKING WITHIN WALLS AS REQUIRED (2" PLYWOOD OR SOLID WOOD BLOCKING WHERE NEEDED)
E) INSTALLATION AND FASTENERS AS PER METAL FRAMING MANUFACTURER GUIDELINES. FRAMING AS REQUIRED AROUND EXISTING BUILDING ELEMENTS FOR NEW WORK.
- DRYWALL/INSULATION**
A) UNLESS OTHERWISE NOTED ON PLANS USE 1/2" STANDARD GYPSUM BOARD
B) AS INDICATED FOR ALL FIRE SEPARATIONS, USE 1/2" TYPE X GYPSUM BOARD
C) AS INDICATED FOR ALL "WET" AREAS INCLUDING BATHROOMS AND KITCHEN, USE 1/2" WATER RESISTANT DRYWALL (GREEN BOARD)
D) WHERE INDICATED USE ROCKWOL "SAFE 'N' SOUND" FOR ALL BETWEEN STUD INTERIOR INSULATION (ACOUSTIC AND FIRE RATED) TAPE/ MUD/ SAND (REPEAT AS NEEDED) ALL JOINTS AND FASTENERS HOLES TO ACHIEVE LEVEL 4 FINISH READY FOR PRIME AND PAINT.
- FINISHES**
A) ACOUSTIC CEILING TILE CEILING SYSTEM - SUSPENSION SYSTEM, EXPOSED "T" BAR 24"x48" GRID SYSTEM "PRELUDE" BY ARMSTRONG COMMERCIAL. CEILING PANELS - 24"x48"x1/2" BEVELED EDGE "CIRRUS" COLOUR "WHITE" BY ARMSTRONG OR APPROVED EQUAL. SEE DRAWINGS FOR EXTENT.
B) DRYWALL CEILING SYSTEM - SUSPENDED COLD ROLLED FRAMING (CARRIER CHANNEL, FURRING CHANNEL) BY CGC OR APPROVED EQUAL. SEE DRAWINGS FOR EXTENT.
C) PORCELAIN FLOOR TILE - JET BLACK MATTE, 12"x24" REGAL SERIES BY OLYMPIA TILE. SUPPLY AND INSTALL UNCOUPLING MEMBRANE BELOW TILE. SCHLUTER DITRA OR APPROVED EQUAL. ALL TILES TO BE INSTALLED WITH LEVELING CLIPS TO ENSURE NO "LIPPAGE" BETWEEN TILES.
D) PORCELAIN TILE BASE - JET BLACK MATTE, 12"x24" REGAL SERIES BY OLYMPIA TILE.
E) VINYL COMPOSITE TILE (VCT) - PATCH TO MATCH EXISTING. FOR PRICING ASSUME SELECTION FROM STANDARD EXCELOX IMPERIAL TEXTURE BY ARMSTRONG.
F) TERRAZZO - CEMENT TERRAZZO PATCH TO MATCH EXISTING. GENERAL CONTRACTOR RESPONSIBLE TO VIEW SITE PRIOR TO SUBMITTING A BID TO VERIFY EXISTING TERRAZZO TO ADEQUATELY PRICE COST TO PATCH TO MATCH EXISTING FOR TENDERING PURPOSES. A SKILLED TERRAZZO COMPANY INSTALLER IS A REQUIREMENT UNDER THIS CONTRACT FOR THE SUPPLY AND INSTALL DURING CONSTRUCTION. PROVIDE 12" X 12" MOCK-UP FOR CLIENT APPROVAL PRIOR TO INSTALLATION.
G) HIGH TRAFFIC CARPET TILE - 108591 CHARCOAL, OSMO AIN 408 BY INTERFACE FULLY ADHERED TO FLOOR
H) RUBBER BASE - FLAGSTONE R415 BY ARMSTRONG FLOORING. 1/8" HIGH X 1/2" THICK WITH TOE
I) PAINT - PREPARE ALL SURFACES (NEW OR EXISTING WALLS) READY FOR PAINT FINISH. REFER TO ROOM FINISH SCHEDULE FOR PAINT COLOURS
- WALLS: ONE COAT PRIMER - SEALER, TWO COATS SATIN FINISH
- CEILING: ONE COAT PRIMER - SEALER, TWO COATS FLAT
- DOORS AND FRAMES: ONE COAT SPOT PRIMER, ONE COAT ENAMEL UNDERCOAT, TWO COATS SEMI-GLOSS ENAMEL
ALL CEILING AND WALL PAINT TO BE BENJAMIN MOORE AURA SERIES (AURA BATH AND SPA FOR ALL WASHROOMS), DOORS AND FRAMES ENAMEL BENJAMIN MOORE
REFER TO FINISH SCHEDULE FOR PAINT COLOURS AND ACCENT COLOUR WALL LOCATIONS.
ALL FINISHES TO BE SUPPLY + INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND HANDED OVER TO OWNER IN UNBLEMISHED MANNER. PROVIDE SAMPLES FOR CLIENT APPROVAL PRIOR TO INSTALLATION FOR ALL FINISHES.
- DOORS AND FRAMES**
A) FRAMES - HOLLOW METAL DOORS - STANDARD DUTY COMPLETE WITH STANDARD HARDWARE AND THOSE SPECIFIED ON DOOR SCHEDULE. ALL HARDWARE TO BE COMMERCIAL GRADE, LEVER TYPE. EXTERIOR DOORS TO BE INSULATED (RIGID EXTRUDED POLYSTYRENE), THERMALLY BROKEN
B) DOORS - HOLLOW METAL FRAMES - 16 GA. AND AS SHOWN ON SCHEDULE. EXTERIOR FRAMES TO BE INSULATED (RIGID EXTRUDED POLYSTYRENE), THERMALLY BROKEN
C) HARDWARE - SUPPLY AND INSTALL COMMERCIAL GRADE HARDWARE AS SPECIFIED.
PROVIDE FIRE RATED DOOR/FRAME WHERE NOTED ON SCHEDULE COMPLETE WITH FIRE RATED TAGS AND RELATED FIRE RATED HARDWARE. ALL ACOUSTIC LISTED DOORS TO HAVE ACOUSTIC SOUND STRIPPING AND HARDWARE TO STC 48 (MIN).
- WINDOWS**
A) FRAMES - HOLLOW METAL - 16 GA. AS SHOWN ON SCHEDULES COMPLETE WITH ALL STANDARD COMPONENTS. EXTERIOR TO BE INSULATED, THERMALLY BROKEN
- ALUMINUM - ALUMINUM RECEPTION WINDOW FRAMING COMPLETE WITH ALL STANDARD COMPONENTS. EXTERIOR TO BE THERMALLY BROKEN SUITABLE FOR EXTERIOR USE. PROVIDE BLUEKIN ALUMINUM FLASHING, BLOCKING AND SEALANT AROUND WINDOW FRAME AS REQUIRED TO PROVIDE WATER TIGHT JUNCTION BETWEEN WINDOW AND EXTERIOR WALL ASSEMBLY
- INTERIOR - SINGLE PANE TEMPERED GLASS FOR ALL INTERIOR GLASS WINDOWS. CUTOUTS AND COMPONENTS AS SHOWN ON SCHEDULES AND AS REQUIRED TO EXECUTE WORK AS SHOWN
- EXTERIOR - DOUBLE PANE INSULATED GLAZING UNIT TEMPERED GLASS FOR ALL EXTERIOR WINDOWS. LOW "E" AND ARGON GAS FILLED UNITS TO PROVIDE A MAX U FACTOR OF 1.42 (A1) 0.25 (IP)
B) WINDOW
C) MILLWORK
A) ALL MILLWORK TO BE COMMERCIAL GRADE, PLYWOOD CORE. SEE MILLWORK DETAILS.
B) ALL EXPOSED CABINET FINISH TO BE PRESSURE LAMINATE "BURN STRAIN" 3007 MATTE BY FORMICA
C) ALL INTERIOR CABINET FINISH (INSIDE CABINETS) TO HAVE MELAMINE FINISH
D) ALL COUNTER-TOPS TO BE WHITE COLORCORE 2 LAMINATE MATTE 58 BY FORMICA. BEVEL ALL CHANGES IN SURFACE PLANE. FINISH ALL EXPOSED EDGES. PROVIDE 1/4" TALL BACKSPASH (ON ALL ADJACENT WALLS) AROUND ALL SINK COUNTERTOPS TO MATCH COUNTER SPECIFICATION.
E) DOOR PULLS TO BE BRUSHED CHROME "T" TYPE
F) ALL KINGS TO BE FULLY CONCEALED 10° DEGREE, MODULAR OPENING SELF / SOFT CLOSING
G) ALL DRAWER GLIDES TO BE BALL BEARING TYPE. FULL EXTENSION, SELF SOFT CLOSING.
H) SOLID OAK WOOD WHERE SPECIFIED TO BE SOLID WHITE OAK SANDED AND SEALED WITH ALL FINISHING HULL FASTENING HOLES FILLED TO MATCH.
I) ALL SUPPORTING BRACKETS/ SUPPORTING HARDWARE TO BE BLACK UNLESS OTHERWISE NOTED AND SUITABLE FOR APPLICATION DESIGNED.

8)	WASHROOM ITEMS	
A)	SOAP DISPENSER	BOBRICK MODEL NO. B-2111 (STAINLESS STEEL)
B)	GRAB BARS	BOBRICK SERIES "L" TYPE B-6106.99 WALL MOUNT SWING DOWN TYPE B-6998/ BACK HORIZONTAL B-6808
C)	TOILET PAPER DISPENSER	SUPPLY BY OWNER. INSTALLED BY CONTRACTOR
D)	WASTE RECEPTACLE	BOBRICK MODEL B-9279 (STAINLESS STEEL) (1 FOR EACH WASHROOM) - WALL MOUNTED
E)	SANITARY NAPKIN DISPOSAL	BOBRICK MODEL B-270 (STAINLESS STEEL) (1 FOR EACH GENDER NEUTRAL WASHROOM, 1 PER FEMALE STALL) CONFORM EXACT LOCATION BESIDE TOILET WITH CLIENT PRIOR TO BOARDING UP WALL TO ENSURE ADEQUATE BLOCKING
F)	COAT HOOK	BOBRICK MODEL B6707 (SATIN)
G)	SHelf	BOBRICK MODEL B-295 X 18 (STAINLESS STEEL)
H)	PAPER TOWEL DISPENSER	BOBRICK MODEL B-722860
I)	MIRROR (GENERAL WASHROOM)	BOBRICK MODEL B-290 1836 (STAINLESS STEEL)
J)	MIRROR (UNIVERSAL WASHROOM)	BOBRICK MODEL B-293 1836 (STAINLESS STEEL) TILTED MIRROR
	GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE WOOD BLOCKING IN EXISTING AND NEW WALLS AS REQUIRED FOR ALL WALL MOUNTED FIXTURES. COORDINATE ON SITE WITH OWNER FOR EXACT LOCATIONS PRIOR TO BOARDING UP WALLS (REFER TO INTERIOR ELEVATIONS FOR REQUIRED ONTARIO BUILDING CODE MOUNTING HEIGHTS)	
9)	ROOFING	
	A) PATCH AND REPAIR ALL EXISTING ROOF ASSEMBLIES IMPACTED BY NEW WORK AND CONSTRUCTION. SUPPLY AND INSTALL NEW ROOFING CURBS FOR ALL NEW ROOF TOP UNITS. ALL NEW ROOFING TO PROVIDE ADEQUATE SLOPE TO EXISTING DRAINS. CONTINUITY OF VAPOUR BARRIER, INSULATION, MISC. BLOCKING, ROOF STRUCTURE, AND WATER TIGHT HOT APPLIED MODIFIED BITUMEN ROOFING MEMBRANE LAPPING OVER EXISTING ROOFING AT ALL JUNCTIONS. ALL ROOFING INSTALLATION TO BE COMPLETED UNDER INDUSTRY STANDARD DUTY OF CARE.	
10)	MISC.	
	A) CAST-IN-PLACE COLOUR CONTRAST INSERT - SUPPLY AND INSTALL A COLOUR CONTRASTING INSERT CAST INTO NEW CONCRETE ALONG EDGES OF LANDINGS AND THE TOP AND BOTTOM OF RAMP. PRODUCT TO BE KINESIK ECOCOLO S SERIES CAST IN PLACE INSERTS CLEAR ANODIZED ALUMINUM STANDARD BLACK NON-SLIP S107	
10)	EXECUTION OF THE WORK	
	A) ALL OF THE WORK TO BE COMPLETED AS PER MANUFACTURER GUIDELINES AND INDUSTRY STANDARD INSTALLATION PRACTICES UNLESS OTHERWISE NOTED. SUPPLY AND INSTALL ALL REQUIRED BLOCKING, FASTENERS, ADHESIVES, TEMPORARY MEASURES, EQUIPMENT, TOOLS, LABOUR AND MATERIALS AND ALL OTHER ITEMS REQUIRED TO COMPLETE THE WORK. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE SITE SECURITY AND SAFETY FROM START OF CONSTRUCTION TO SUBSTANTIAL PERFORMANCE "HAND-OVER" DURING ANY DEFICIENCY RECTIFICATION AFTER HAND-OVER. THE GENERAL CONTRACTOR IS TO CONFIRM AND RECEIVE APPROVAL FROM OWNER THE WORK AREA LOCATION AND TIMEFRAME WHEN WORK WILL BE COMPLETED AND ENSURE SITE SPECIFIC SAFETY AND SECURITY IS ALSO BEING MAINTAINED. B) GENERAL CONTRACTOR IS RESPONSIBLE TO SUBMIT WRITTEN QUESTIONS DURING TIME OF TENDERING/ BIDDING IF IT IS BELIEVED THAT THERE IS ANY MISSING INFORMATION PREVENTING A PROPER AND COMPLETE BID. IT WILL NOT BE ACCEPTABLE FOR THE GENERAL CONTRACTOR TO ADVISE THE CONSULTANT TEAM/ OWNER THAT INFORMATION WAS NOT PROVIDED DURING TIME OF TENDER/ BID THAT DURING CONSTRUCTION IS RESULTING IN AN ADDITIONAL CHANGE TO CONTRACT PRICE OR TIME. C) GENERAL CONTRACTOR TO NOTE THE EXISTING BUILDING IS COMPOSED OF 2 DIFFERENT STRUCTURES/ BUILDINGS THAT BOTH HAVE DIFFERENT SITE CONDITIONS AS IT RELATES WITH THE NEW WORK. THE ORIGINAL BUILDING IS NOTED AS "NORTH BUILDING" AND THE LATER EXISTING ADDITION IS NOTED AS "SOUTH BUILDING". REFER TO FLOOR PLAN FOR EXTENT. SOUTH BUILDING HIGH CEILING IS 4.5M FIRE RATED AND ANY WORK PENETRATING THAT HIGH CEILING MUST BE SMOKE SEALED AND FIRE STOPPED. PATCH AND REPAIR EXISTING 4.5M FIRE RATED HIGH CEILING AS REQUIRED TO COMPLETE NEW WORK WITH 2 LAYERS OF 1/2" TYPE X DRYWALL.	

ARCHITECTURAL DRAWING LIST

COVER PAGE, OBC MATRIX, ARCHITECTURAL MATERIAL SPECIFICATIONS	A000
SITE PLAN	A001
NEW FLOOR PLAN AND DETAILS	A100
ROOF PLAN - DEMO AND NEW WORK	A101
DEMO PLANS	A200
NEW FLOOR FINISH AND RCP	A300
CEILING DETAILS	A301
INTERIOR ELEVATIONS	A500
MILLWORK DETAILS	A600
MILLWORK DETAILS	A601
DOOR AND FRAME SCHEDULE	A700
WINDOW AND ROOM FINISH SCHEDULE	A701
DIGITAL SAMPLE BOARD	A702



NO.	DESCRIPTION	DATE
6.	ISSUED FOR ADDENDUM #1	2024.03.22
5.	ISSUED FOR TENDER/ PERMIT	2024.03.08
4.	ISSUED FOR CLIENT REVIEW	2024.01.11
3.	ISSUED FOR CLIENT REVIEW	2023.12.14
2.	ISSUED FOR CLIENT REVIEW	2023.12.08
1.	ISSUED FOR CLIENT REVIEW	2023.12.01

NO.	DESCRIPTION	DATE
6.	ISSUED FOR ADDENDUM #1	2024.03.22
5.	ISSUED FOR TENDER/ PERMIT	2024.03.08
4.	ISSUED FOR CLIENT REVIEW	2024.01.11
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2.	ISSUED FOR CLIENT REVIEW	2023.12.08
1.	ISSUED FOR CLIENT REVIEW	2023.12.01

1 OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

LEGEND

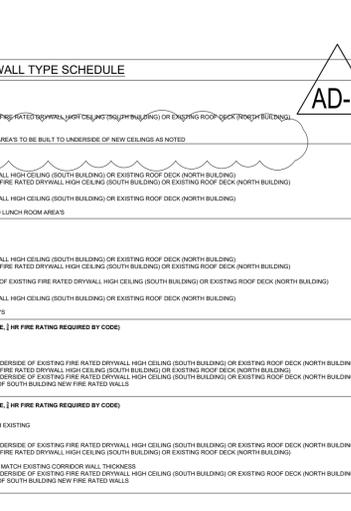
- NEW DOOR AND FRAME: SEE DOOR TAG AND REFER TO DOOR SCHEDULE
- EXISTING DOOR AND FRAME TO REMAIN: EXISTING DOOR AND FRAME TO BE MAINTAINED WITH SURFACE PREPARATION AND REPAIRS TO NEW FRAME AND PAINT
- EXISTING WALL TO REMAIN: PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN. PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN. PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN.
- NEW WALL: SEE WALL TYPE SCHEDULE FOR DETAILS. PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN.
- NEW WINDOW: PROVIDE WINDOW SCHEDULE FOR ALL WINDOWS. PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN.
- LOCATION OF NEW CARD READER TO BE LOCATED BY SECURITY SYSTEM. SEE ELECTRICAL.
- NEW AUTOMATIC DOOR OPERATOR WITH SHARED FREE PUSH BUTTONS. SEE ELECTRICAL.
- ACCESSIBLE CLEAR SPACE
- EXISTING FURNITURE TO BE MAINTAINED: EXISTING FURNITURE TO BE MAINTAINED WITH SURFACE PREPARATION AND REPAIRS TO NEW FRAME AND PAINT.
- NEW SIGN (SEE MECHANICAL) PROVIDE BLOCKING FOR SIGN. PATCH AND REPAIR PART OF EXISTING WALL TO REMAIN.
- NEW MILLWORK (ITEM, SEE MILLWORK SCHEDULE)
- NEW WINDOW AND FRAME SYSTEM, SEE WINDOW SCHEDULE
- PT. SUPPLY AND INSTALL NEW PAPER TONER DISPENSER. COORDINATE WITH OWNER ON MAKE AND MODEL.
- SD. SUPPLY AND INSTALL NEW GOP DISPENSER. COORDINATE WITH OWNER ON MAKE AND MODEL.
- MR. SUPPLY AND INSTALL NEW MIRROR, TILED MIRROR FOR UNIVERSAL AND ACCESSIBLE WASHROOMS
- TP. SUPPLY AND INSTALL NEW TOILET PAPER DISPENSER. COORDINATE WITH OWNER ON MAKE AND MODEL.
- WR. SUPPLY AND INSTALL NEW WASTE SHEETROCK. COORDINATE WITH OWNER ON MAKE AND MODEL.

WALL TYPE SCHEDULE

- AD-1: DRYWALL, 5/8" ABOVE CEILING
- AD-2: DRYWALL, 5/8" ABOVE CEILING
- AD-3: DRYWALL, 5/8" ABOVE CEILING
- AD-4: DRYWALL, 5/8" ABOVE CEILING
- AD-5: DRYWALL, 5/8" ABOVE CEILING
- AD-6: DRYWALL, 5/8" ABOVE CEILING
- AD-7: DRYWALL, 5/8" ABOVE CEILING
- AD-8: DRYWALL, 5/8" ABOVE CEILING
- AD-9: DRYWALL, 5/8" ABOVE CEILING
- AD-10: DRYWALL, 5/8" ABOVE CEILING
- AD-11: DRYWALL, 5/8" ABOVE CEILING
- AD-12: DRYWALL, 5/8" ABOVE CEILING
- AD-13: DRYWALL, 5/8" ABOVE CEILING
- AD-14: DRYWALL, 5/8" ABOVE CEILING
- AD-15: DRYWALL, 5/8" ABOVE CEILING
- AD-16: DRYWALL, 5/8" ABOVE CEILING
- AD-17: DRYWALL, 5/8" ABOVE CEILING
- AD-18: DRYWALL, 5/8" ABOVE CEILING
- AD-19: DRYWALL, 5/8" ABOVE CEILING
- AD-20: DRYWALL, 5/8" ABOVE CEILING
- AD-21: DRYWALL, 5/8" ABOVE CEILING
- AD-22: DRYWALL, 5/8" ABOVE CEILING
- AD-23: DRYWALL, 5/8" ABOVE CEILING
- AD-24: DRYWALL, 5/8" ABOVE CEILING
- AD-25: DRYWALL, 5/8" ABOVE CEILING
- AD-26: DRYWALL, 5/8" ABOVE CEILING
- AD-27: DRYWALL, 5/8" ABOVE CEILING
- AD-28: DRYWALL, 5/8" ABOVE CEILING
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- AD-95: DRYWALL, 5/8" ABOVE CEILING
- AD-96: DRYWALL, 5/8" ABOVE CEILING
- AD-97: DRYWALL, 5/8" ABOVE CEILING
- AD-98: DRYWALL, 5/8" ABOVE CEILING
- AD-99: DRYWALL, 5/8" ABOVE CEILING
- AD-100: DRYWALL, 5/8" ABOVE CEILING

GENERAL NOTES

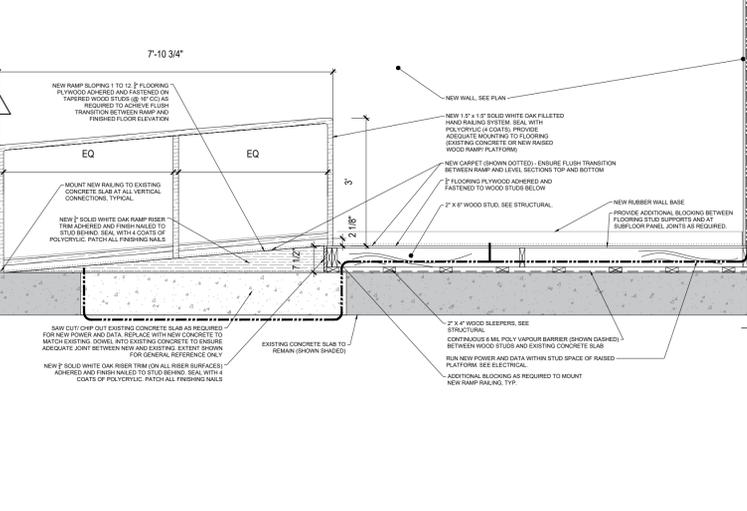
- 1. PATCH AND REPAIR PART OF EXISTING WALL IMPACTED BY DEMOLITION AND PATCHING OF EXISTING BUILDING AS REQUIRED TO COMPLETE NEW WORK.
- 2. COORDINATE WITH ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION AND PATCHING OF EXISTING BUILDING AS REQUIRED TO COMPLETE NEW WORK.



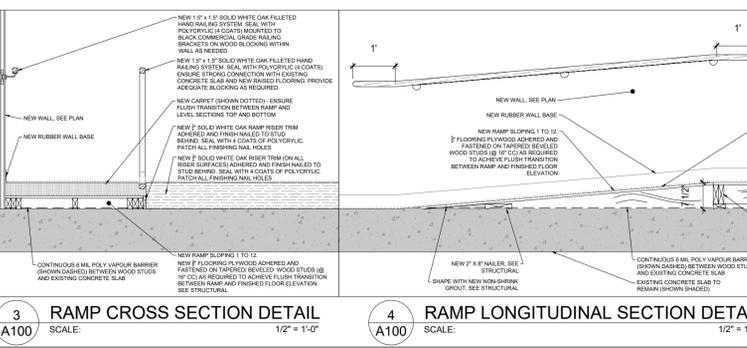
2 RAISED PLATFORM SECTION DETAIL
SCALE: 1/2" = 1'-0"



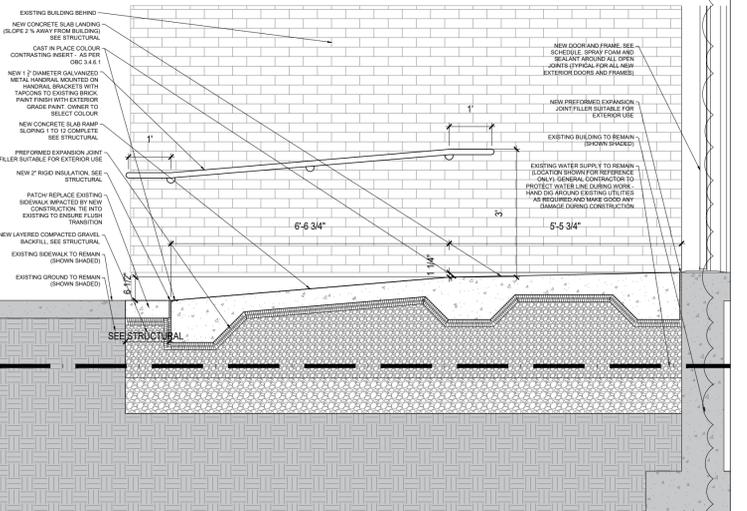
3 RAMP CROSS SECTION DETAIL
SCALE: 1/2" = 1'-0"



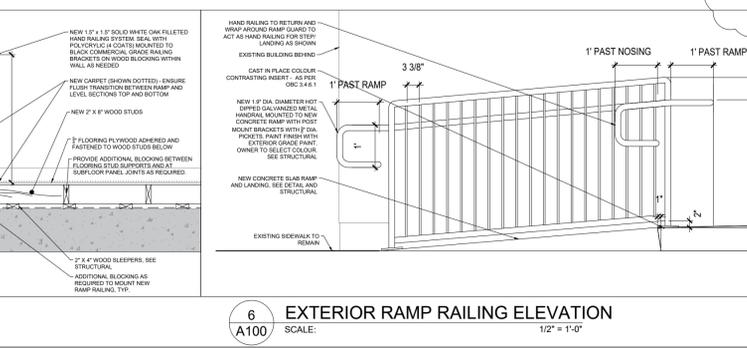
4 RAMP LONGITUDINAL SECTION DETAIL
SCALE: 1/2" = 1'-0"



5 EXTERIOR RAMP SECTION DETAIL
SCALE: 1/2" = 1'-0"



6 EXTERIOR RAMP RAILING ELEVATION
SCALE: 1/2" = 1'-0"



7 NEW WINDOW DETAIL
SCALE: 1/2" = 1'-0"

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TOWNSHIP OF NORTH STORMONT - NEW TOWN HALL RENOVATION

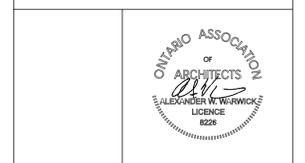
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THIS DRAWING IS NOT TO BE SCALED.



The contractor shall check and verify all dimensions and report all errors and omissions to the architect and the report professional shall use a yellow stamp. Do not make any changes to the drawings.

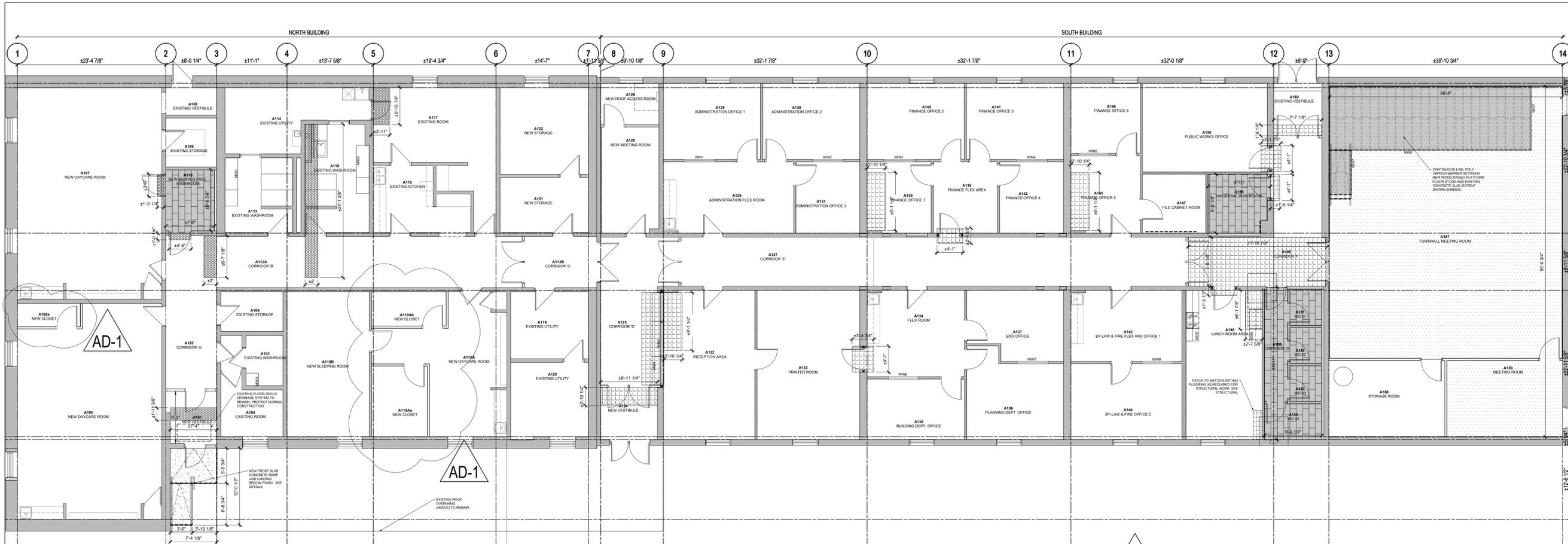
This drawing shall not be used for any construction purposes not intended for construction by the design professional unless it is affected by this drawing and where approval is given.

SHEET TITLE: **OVERALL FLOOR PLAN AND DETAILS**

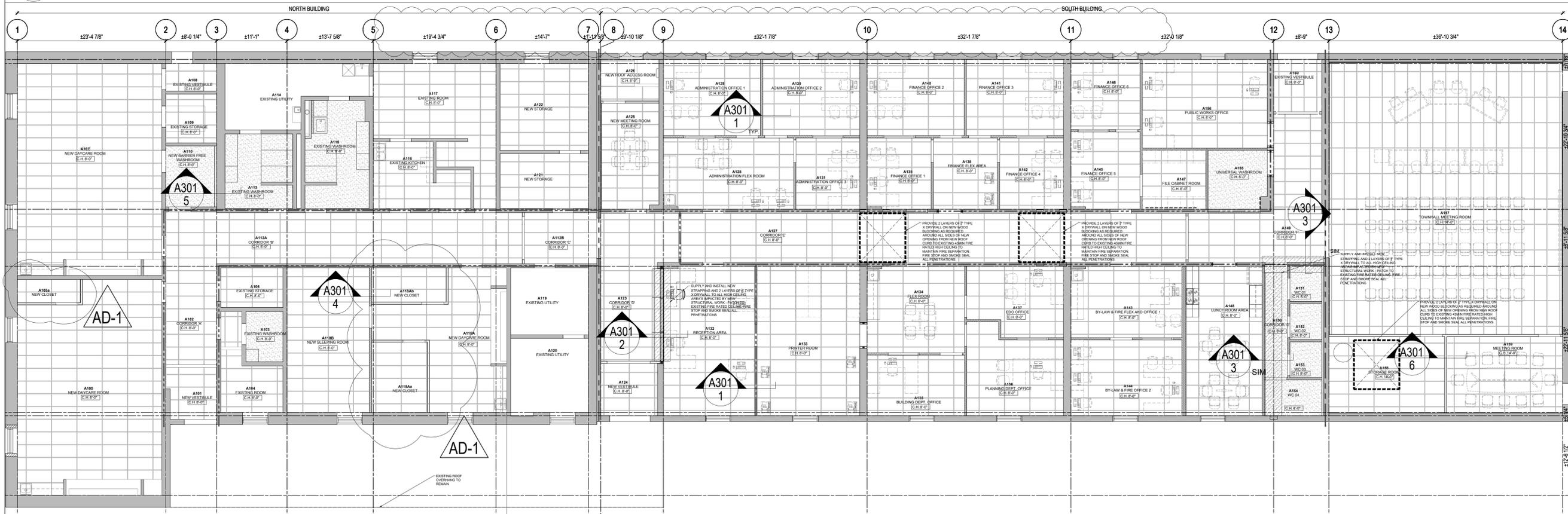
SHEET NO.: **A100**

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AW	AW

SCALE: 1/8" = 1'-0"



1 NEW FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



2 NEW REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

FLOOR FINISH LEGEND

- NEW VCT FLOORING TO MATCH EXISTING
- NEW HIGH TRAFFIC CARPET FLOORING
- NEW PORCELAIN TILE FLOORING
- NEW TERRAZZO FLOORING (TO MATCH EXISTING)

FLOOR FINISH NOTES

PROVIDE NEW FLOOR TRANSITION STRIPS BETWEEN ALL CHANGES IN FLOOR FINISH. JOINTS BETWEEN DIFFERENT FLOOR FINISHES AT DOORWAYS TO OCCUR UNDER MOULD OF DOOR WHEN DOOR IS CLOSED.

REFLECTED CEILING PLAN LEGEND

- NEW 2' X 4' ACUSTIC CEILING TILE ON NEW 5/8" GRID SYSTEM
- SOUTH BUILDING - SUSPENDED FROM EXISTING FIRE RATED HIGH CEILING ABOVE. LOCATE AND REPAIR ALL EXISTING HOODS, FLOOR STUOL AND EXISTING CONCRETE SLAB EXISTENT (SHOWN SHADED)
- NORTH BUILDING - SUSPENDED FROM EXISTING ROOF DECK
- REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES, ELECTRICAL DEVICES, HVAC SYSTEM AND FIXTURES, ETC.
- NEW WATER RESISTANT DRYWALL CEILING
- SOUTH BUILDING - SUSPENDED FROM EXISTING FIRE RATED HIGH CEILING ABOVE. LOCATE AND REPAIR ALL EXISTING HOODS, FLOOR STUOL AND EXISTING CONCRETE SLAB EXISTENT (SHOWN SHADED)
- NORTH BUILDING - SUSPENDED FROM EXISTING ROOF DECK
- REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES, ELECTRICAL DEVICES, HVAC SYSTEM AND FIXTURES, ETC.
- NEW 2 LAYERS OF 5/8" TYPE X DRYWALL ON NEW STRAPPING AS REQUIRED TO MAINTAIN EXISTING ADMIN BUILDING AT EXISTING CEILING PLUMBING AND REPAIR AS NEEDED FOR NEW WORK. MAINTAIN EXISTING MAIN FIRE RATED HIGH CEILING.

REFLECTED CEILING PLAN NOTES

EXISTING FIRE RATED DRYWALL ATTACHED TO EXISTING WOOD STRUCTURE IN SOUTH BUILDING TO BE REPAIR, PATCH AND REPAIR AS REQUIRED. CONSTRUCTION OR FOR NEW WORK (BLOCKING AS NEEDED). MAINTAIN 45 MIN FIRE SEPARATION, SMOKE SEAL, AND FIRE STOP ALL PENETRATIONS.

TYPICAL FLOOR TRANSITION DETAIL

THICKER FLOOR FINISH
STAINLESS STEEL TRANSITIONAL STRIP
ADHESIVE CONCEALED TRANSITION LEVELER STRIP. FEATHER UP TO THICKER FLOOR FINISH
THINNER FLOOR FINISH
SUB-FLOOR

THICKNESS VARIATION 1/8" MIN

NO.	DESCRIPTION	DATE
2.	ISSUED FOR ADDENDUM #1	2024.03.22
1.	ISSUED FOR TENDER/ PERMIT	2024.03.08

REVISIONS

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PROJECT
TOWNSHIP OF NORTH STORMONT - NEW TOWN HALL RENOVATION

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ALEXANDER W. WARWICK
LICENSE
6226

SHEET TITLE
NEW FLOOR FINISH PLAN + RCP

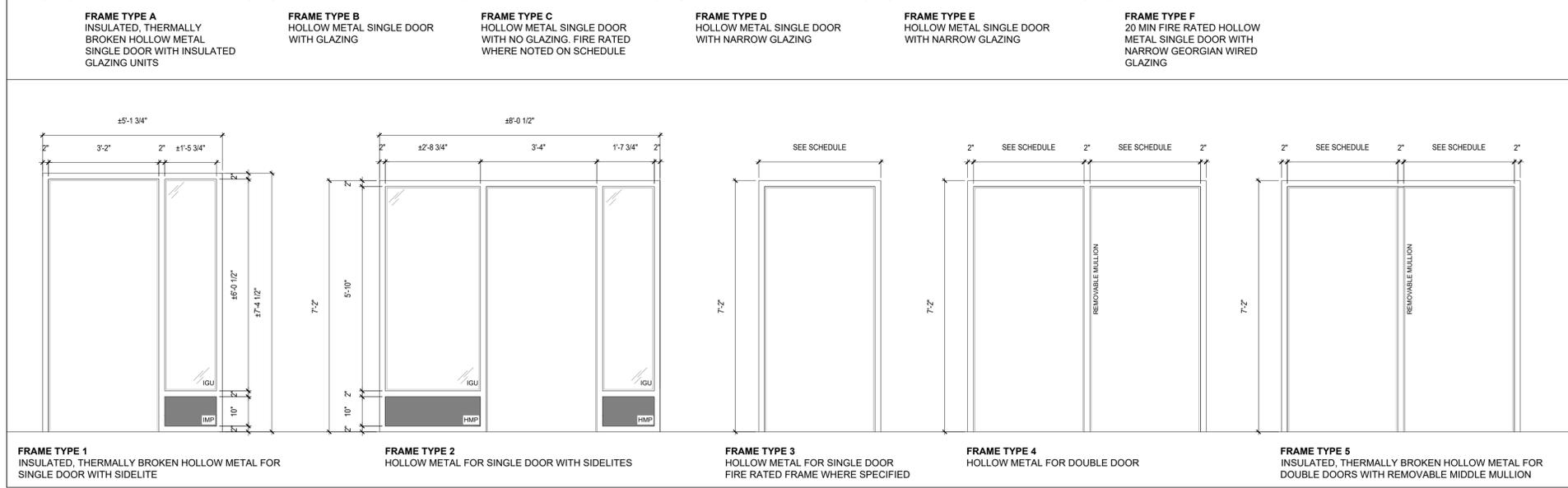
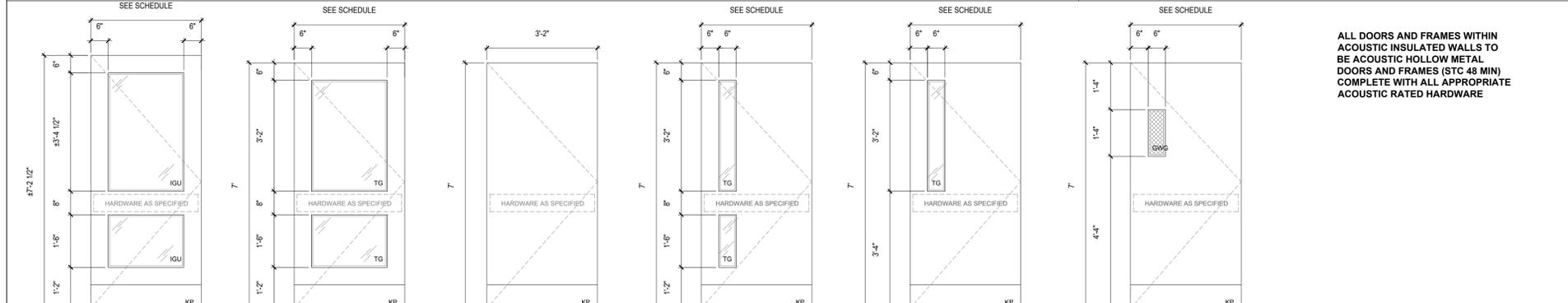
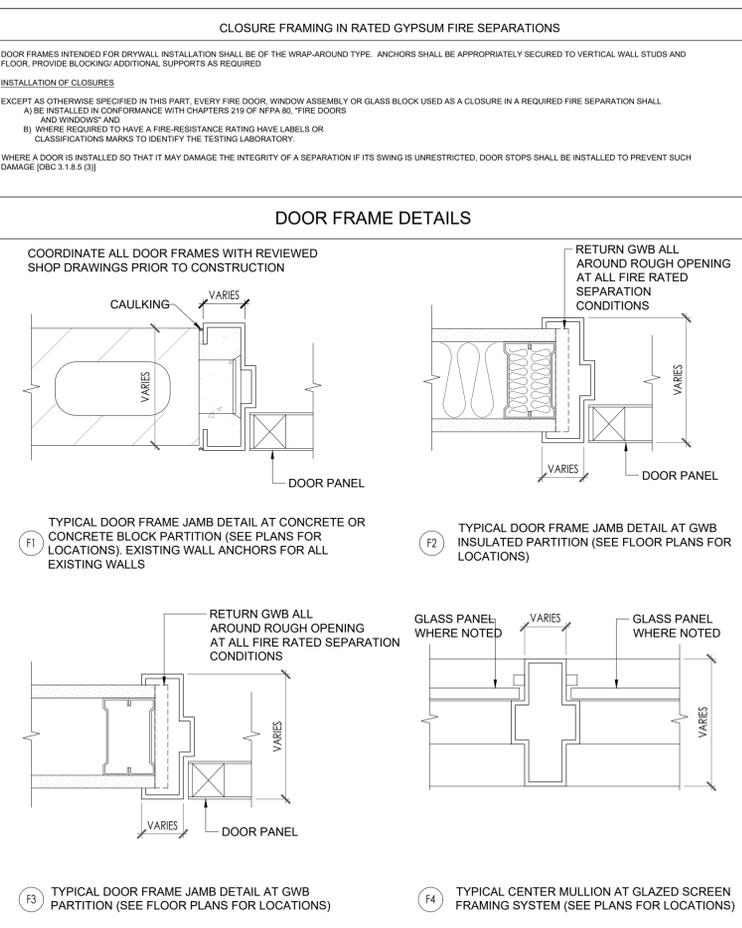
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A300	AW	AW

SCALE: 1/8" = 1'-0"

DOOR SCHEDULE														
DOOR NO.	TYPE	DOOR			FRAMES			DOOR THRESHOLD	WEATHER-STRIPPING	BARRIER-FREE HARDWARE (AUTOMATIC DOOR OPERATOR AND PUSH BUTTONS)	DOOR CLOSER	DOOR STOP (CONFIRM LOCATION ON SITE)	REMARKS	OBC REQUIREMENT
		WIDTH	HEIGHT	MATERIAL	FIRE RATING	FINISH	TYPE							
A101A	A	3'-2"	7'-0"	HM	-	PT	1	HM	-	PT			INSULATED, THERMALLY BROKEN, CARD READER, PANIC SET, LEVER HARDWARE	
A101B	B	3'-2"	7'-0"	HM	-	PT	2	HM	-	PT			PUSH PLATE / DOOR PULL - NON-LATCHING DOOR	
A105	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A110A	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			UNIVERSAL WASHROOM HARDWARE	
A102	C	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			UNIVERSAL WASHROOM HARDWARE	
A112	C	2 X 3'-2"	7'-0"	HM	-	PT	4	HM	-	PT			CARD READER, PANIC SET, LEVER HARDWARE	
A117	C	2'-10"	7'-0"	HM	0 HR	PT	3	HM	0 HR	PT			LOOKSET, LEVER HARDWARE, 0 HR FIRE SEPARATION (SMOKE SEAL)	
A118	B	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LEVER PASSAGE HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A118A	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A118B	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A118C	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A123	C	2 X 3'-2"	7'-0"	HM	20 MIN	PT	4	HM	20 MIN	PT			CARD READER, PANIC SET, LEVER HARDWARE	
A124A	A	3'-2" / 2'-8"	7'-0"	HM	-	PT	5	HM	-	PT			INSULATED, THERMALLY BROKEN, CARD READER, PANIC SET, LEVER HARDWARE	
A124B	A	2 X 3'-2"	7'-0"	HM	-	PT	4	HM	-	PT			PUSH PLATE / DOOR PULL - NON-LATCHING DOOR	
A126	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A129	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A130	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A131	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A133A	C	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			LOOKSET, LEVER HARDWARE	
A133B	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A135	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A136	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A137	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A138	F	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			LOOKSET, LEVER HARDWARE	
A139	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A140	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A141	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A142	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A144	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A146	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A147	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A148	F	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			LOOKSET, LEVER HARDWARE	
A149	C	2 X 3'-2"	7'-0"	HM	-	PT	4	HM	-	PT			CARD READER, PANIC SET, LEVER HARDWARE	
A150	F	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			LOOKSET, LEVER PRIVACY HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A151	C	3'-0"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER PRIVACY HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A152	C	3'-0"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER PRIVACY HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A153	C	3'-0"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER PRIVACY HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A154	C	3'-0"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER PRIVACY HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A155	C	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			UNIVERSAL WASHROOM HARDWARE, ACOUSTIC SWEEP/ SOUND STRIPPING (ALL SIDES)	
A156	F	3'-2"	7'-0"	HM	20 MIN	PT	3	HM	20 MIN	PT			LOOKSET, LEVER HARDWARE	
A158	C	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A159	D	3'-2"	7'-0"	HM	-	PT	3	HM	-	PT			LOOKSET, LEVER HARDWARE	
A160A	A	2 X 3'-2"	7'-0"	HM	-	PT	4	HM	-	PT			PUSH PLATE / DOOR PULL - NON-LATCHING DOOR	
A160B	A	3'-2" / 2'-8"	7'-11"	HM	-	PT	5	HM	-	PT			INSULATED, THERMALLY BROKEN, CARD READER, PANIC SET, LEVER HARDWARE	
EX	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT			EXISTING DOOR FRAME/HARDWARE TO REMAIN - SAND, PATCH, PREPARE AND MAKE GOOD TO PRIME AND PAINT DOORS AND FRAMES	

DOOR SCHEDULE GENERAL NOTES	
1.	ALL DOORS INCLUDING FRAMES REQUIRING A FIRE PROTECTION RATING SHALL COMPLY WITH OBC SUBSECTION 3.1.8
2.	ALL FIRE RATED DOORS, INCLUDING DOORS WITH 0HR RATING, TO BE SELF LATCHING AND SELF CLOSING DEVICES
3.	ALL DOORS INCLUDING FRAMES REQUIRING A FIRE PROTECTION RATING SHALL BE LABELED INDICATING FIRE RATING AND BE EQUIPPED WITH A LISTED SELF CLOSING DEVICE. A LISTED POSITIVE LATCHING MECHANISM, AND LISTED HARDWARE
4.	DOORS WITH TEMPERATURE RISE RATINGS INDICATING THAT THE DOOR HAS A MAXIMUM TEMPERATURE RISE OF 250°C AFTER 1HR OF EXPOSURE (OBC TABLE 3.1.8.10) ARE TO BE PROVIDED IN DOORS TO EXIT STAIRS FROM PARKING GARAGE, DOORS LOCATED IN FIRE WALLS, AND DOORS THAT ARE LOCATED WITHIN MEASURE-N-VESTIBULES
5.	ALL FRAMES OF DOORS WITHIN FIRE SEPARATIONS SHALL BE FIRE STOPPED AND SEALED WITH SAME RATING AS FIRE SEPARATION
6.	ALL FRAMES WITH EITHER POWER DOOR OPERATOR, OR CARD READER TO ALSO HAVE ELECTRIC STRIKE FOR PROPER USE. PROVIDE ALL APPROPRIATE HARDWARE AND MODIFICATIONS TO DOORS AND FRAMES TO SUIT PROPER OPERATION.
7.	PROVIDE DOOR STOPS AS REQUIRED TO PREVENT DAMAGE TO INTEGRITY OF A WALL OR FIRE SEPARATION IF A DOOR SWING IS UNRESTRICTED (OBC 3.1.8.10)
8.	ALL DOORS IN AN ACCESS TO EXIT, MEANS OF EGRESS OR EXIT SHALL COMPLY WITH OBC 3.4.6.10 TO 3.4.6.19 INCLUSIVE
9.	ALL DOORS THAT OPEN INTO A CORRIDOR OR OTHER FACILITY PROVIDING ACCESS TO EXIT FROM A SUITE, OR ROOM NOT LOCATED WITHIN A SUITE SHALL COMPLY WITH ARTICLES 3.3.1.10, 3.3.1.12 AND 3.3.1.18 OF THE OBC
10.	ALL EXIT DOORS FROM STAIRS AT GRADE LEVEL TO BE PROVIDED WITH EXIT DEVICES
11.	ALL EXIT DOORS AT GRADE OTHER THAN FROM STAIRS SHALL BE EXIT ONLY
12.	DOORS LOCATED WITHIN 2 METERS FROM EXTERIOR GRADE TO CONFORM TO OBC 3.3.4.16, 8.7.5.2 & 8.7.5.3 "RESISTANCE TO FORCED ENTRY". THIS INCLUDES POSITIVE ENTRANCE DOORS. DOORS TO HAVE DEADBOLT LOCK AND SOLID BLOCKING AT LOCK HEIGHT BETWEEN JAMBS FOR DOOR AND FRAMING TO RESIST SPREADING BY FORCE.
13.	ALL DOORS EQUIPPED WITH A HOLD OPEN DEVICE SHALL COMPLY WITH OBC 3.1.8.12
14.	ALL DOORS EQUIPPED WITH AN ELECTRIC STRIKE REQUIRED FOR SECURITY SHALL COMPLY WITH OBC 3.3.1.12
15.	ALL DOORS EQUIPPED WITH AN ELECTROMAGNETIC LOCK SHALL COMPLY WITH ARTICLE OBC 3.3.1.12 & 3.4.6.16
16.	ALL STEEL DOORS EQUIPPED WITH ELECTROMAGNETIC LOCK TO BE 18 GA. STEEL AND TACK WELD AND FILL EDGES
17.	ALL EXTERIOR DOORS TO BE WEATHER STRIPPED AND TESTED TO RESIST OR ACCOMMODATE ALL ENVIRONMENTAL LOADS AND EFFECTS OF THESE LOADS DETERMINED ACCORDING TO SB-1 OF OBC.
18.	ALL GLAZING WITHIN EXTERIOR DOORS TO BE DOUBLE GLAZED, INSULATED GLAZING UNITS
19.	ALL GLASS IN DOORS AND SIDELITES TO BE MADE OF TEMPERED OR LAMINATED SAFETY GLASS CONFORMING TO CAN/CSS-12.1.M. LATEST ADDITION (OBC 3.1.8.11)
20.	ALL THRESHOLDS IN A BARRIER-FREE PATH OF TRAVEL TO BE MAXIMUM 13MM IN HEIGHT \pm 12 BEVELED SLOPE (OBC 3.8.1.3)
21.	ALL THRESHOLDS TO BE ALUMINUM UNLESS OTHERWISE NOTED
22.	DOOR RELEASE HARDWARE TO BE INSTALLED NOT MORE THAN 1200MM ABOVE FINISH FLOOR AND NOT LESS THAN 865MM (OBC 3.3.1.12 (5))
23.	ALL SINGLE USE PUBLIC WASHROOM/BATHROOM DOORS TO BE EQUIPPED WITH A PRIVACY LOCK
24.	EXCEPT FOR GLASS DOORS, ALL EXTERIOR DOORS TO HAVE MIN THERMAL RESISTANCE OF RSI 0.7 (R4) AS PER OBC SB-10, CHAPTER 2, 1.1.1.2 (4)
25.	UNIVERSAL WASHROOM HARDWARE - PRIVACY LOCK/ LEVER HARDWARE, PUSH TO LOCK, EMERGENCY CALL BUTTON SYSTEM / RELEASE/ INDICATOR ABOVE BOTH SIDES OF DOOR, DOOR LOCKED INDICATOR

ABBREVIATIONS	
ALUM+ ALUMINUM	KP + KICK PLATE
BR + BUZZER RELEASE	LG + LAMINATED GLASS
CMP + COMPOSITE METAL PANEL	MDH + MAGNETIC DOOR HANDLE
CR + CARD READER (OVERIDE LATCH OR LOCK)	MH + MAGNETIC HOLD
DO + POWER DOOR OPERATOR	ML + MAGNETIC LOCK
DSC + DOOR SECURITY CONTACT	PD + POWER DOOR
ES + ELECTRIC STRIKE	PGF + PATTERNED GLASS WITH VISUAL MARKERS (BIRD FRIENDLY) REFER ALSO TO ELEV.
FG + FIXED GLASS	PG + PLATE GLASS
FLG + FIRE FITE GLASS	PT + PRIME AND PAINT
FRG + FROSTED GLASS	PS + PRESSED STEEL
GWG + GEORGIAN WIRE GLASS	SC + SOLID CORE
HC + HOLLOW CORE	SCL + SOLID CORE WOOD - LAMINATE FINISH
HCP + HOLLOW CORE MOLDED PANEL	SCP + SOLID CORE MOLDED PANEL
HCW + HOLLOW CORE WOOD	SCW + SOLID CORE WOOD
HM + HOLLOW METAL	SH + SHEET GLASS
HMF + HOLLOW METAL FRAME	SS + STAINLESS STEEL
HMI + HOLLOW METAL INSULATED	ST + STAINED
HMP + HOLLOW METAL PANEL	TG + TEMPERED GLASS
IDD + INTERIOR DESIGN DWGS	VN + VINYL
IGU + INSULATED GLAZING UNIT	WD + WOOD
IM + INSULATED METAL	
IMP + INSULATED METAL PANEL	



2.	ISSUED FOR ADDENDUM #1	2024.03.22
1.	ISSUED FOR TENDER/ PERMIT	2024.03.08
NO.	DESCRIPTION	DATE
REVISIONS		

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PROJECT

TOWNSHIP OF NORTH STORMONT - NEW TOWN HALL RENOVATION

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF ALEX WARWICK ARCHITECTS. THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

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REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTANT DRAWINGS BEFORE PROCEEDING WITH THE WORK.

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THIS DRAWING IS NOT TO BE SCALED.

ONTARIO ASSOCIATION OF ARCHITECTS
ALEXANDER W. WARWICK
LICENCE 8226

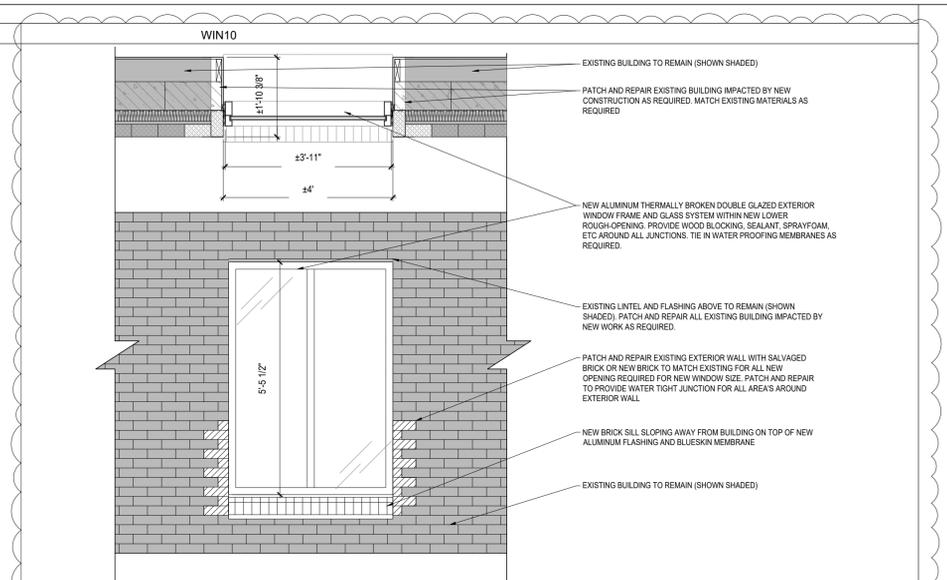
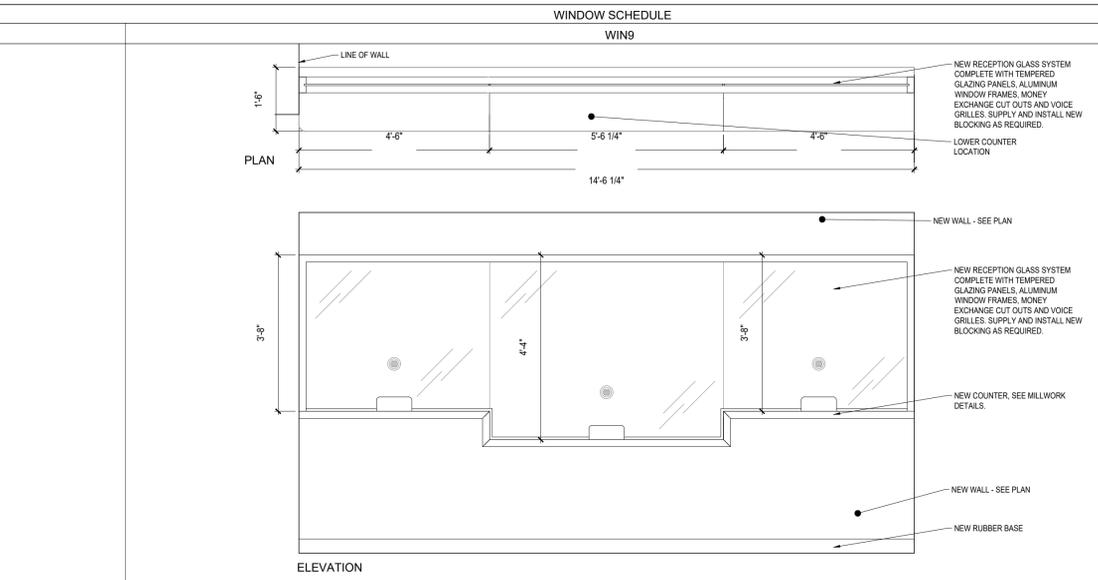
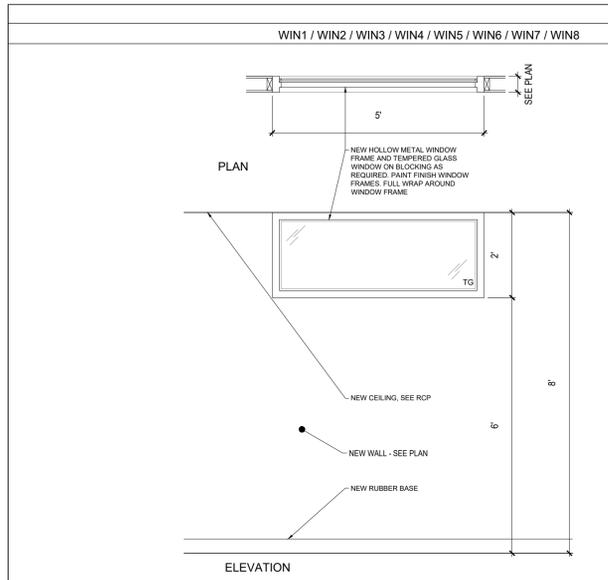
NORTH

SHEET TITLE

DOOR SCHEDULE

SHEET NO. **A700** DRAWN BY **AW** CHECKED BY **AW**

SCALE **N.T.S.**



ROOM FINISH SCHEDULE NOTES

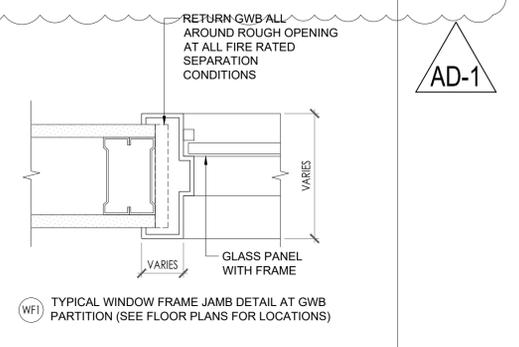
- ALL WET AREAS TO HAVE WATER RESISTANT DRYWALL FOR WALLS AND CEILING
- ALL EXISTING WALLS TO HAVE ADEQUATE SURFACE PREPARATION PRIOR TO PRIME AND PAINT TO ENSURE PROPER ADHESION OF NEW PRIME AND PAINT
- PROVIDE PAINT DRAW DOWNS, FINISH SAMPLES, ETC., FOR CLIENT REVIEW AND CONFIRMATION PRIOR TO INSTALLATION.
- ALL EXISTING DOORS, DOOR FRAMES AND HOLLOW METAL WINDOW FRAMES TO HAVE SURFACE PREPARATION AND PRIME AND PAINT (PAINT COLOUR AS SPECIFIED)
- REFER TO PLANS FOR GENERAL DESIGN INTENT REGARDING EXTENT OF NEW FINISHES. ALL AREAS TO BE PATCHED TO MATCH EXISTING IS SHOWN FOR REFERENCE ONLY AND EXACT EXTENT WILL DEPEND ON SPECIFIC SITE CONDITIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. SUBSTRATE SHALL BE SMOOTH, FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISH MATERIAL MANUFACTURER RECOMMENDATIONS
- ALL FINISHES TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL ADHESIVES, MORTARS, GROUT, UNDERLAYMENT MEMBRANES, ETC. GENERAL CONTRACTOR TO CARRY INCLUSIVE COST FOR ALL INSTALLATION LABOUR, EQUIPMENT, AND MATERIALS TO SUPPLY AND INSTALL THE FINISHES AS SPECIFIED.
- PROVIDE TRANSITION STRIP AT DOORWAY FOR ALL JUNCTIONS BETWEEN DIFFERENT FLOOR FINISH THICKNESS. WHERE NEEDED, PROVIDE FEATHERING UNDER FLOOR FINISH TO SLOPE THINNER FLOOR FINISH TO ALIGN WITH THICKER FLOOR FINISH.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		NORTH WALL		SOUTH WALL		WEST WALL		EAST WALL		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
A101	NEW VESTIBULE	EXTER	-	EXRB	-	EX	PT01	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A102	CORRIDOR "A"	EXTER	-	EXRB	-	EX	PT01	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A103	EXISTING WASHROOM	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A104	EXISTING ROOM	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A105	NEW DAYCARE ROOM	EX	-	EX	-	EX	PT02	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A105a	NEW CLOSET	EX	-	EX	-	EX	PT01	DW	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A106	EXISTING STORAGE	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A107	NEW DAYCARE ROOM	EXTER	-	EXRB	-	EX	PT03	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A108	EXISTING VESTIBULE	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A109	EXISTING STORAGE	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A110	NEW BARRIER FREE WASHROOM	POR	-	POR	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT04	DWW	-	8'-0"	
A112A	CORRIDOR "B"	EXTER	-	EXRB	-	DW	PT01	DW	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A112B	CORRIDOR "C"	EX	-	EX	-	DW	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A113	EXISTING WASHROOM	EX	-	EX	-	EX	PT02	EX	PT01	EX	PT01	EX	PT01	DWW	-	8'-0"	
A114	EXISTING UTILITY	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	
A115	EXISTING WASHROOM	EXTER	-	EXRB	-	EX	PT01	EX	PT05	EX	PT01	EX	PT01	DWW	-	8'-0"	
A116	EXISTING KITCHEN	EX	-	EX	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A117	EXISTING ROOM	EXTER	-	EXRB	-	EX	PT01	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A118A	NEW DAYCARE ROOM	EX	-	EX/ RB	-	DW	PT04	EX	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A118Aa	NEW CLOSET	EX	-	EX/ RB	-	DW	PT01	DW	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A118B	NEW SLEEPING ROOM	EX	-	EX/ RB	-	EX	PT04	DW	PT01	EX	PT01	EX	PT01	ACT	-	8'-0"	
A119	EXISTING UTILITY	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	
A120	EXISTING UTILITY	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	EX	
A121	NEW STORAGE	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	ACT	-	8'-0"	
A122	NEW STORAGE	EX	-	EX	-	EX	-	EX	-	EX	-	EX	-	ACT	-	8'-0"	
A123	CORRIDOR "D"	VCT/EX	-	RB	-	EX	PT01	DW	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A124	NEW VESTIBULE	VCT/EX	-	RB	-	EX	PT01	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A125	NEW MEETING ROOM	EX	-	RB	-	DW	PT02	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A126	NEW ROOF ACCESS ROOM	EX	-	RB	-	EX	PT01	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A127	CORRIDOR "E"	VCT/EX	-	RB	-	DW	PT01	DW	PT01	EX	PT01	EX/DW	PT01	ACT	-	8'-0"	
A128	ADMINISTRATION FLEX ROOM	VCT/EX	-	RB	-	EX	PT01	DW	PT01	EX	PT01	DW	PT02	ACT	-	8'-0"	
A129	ADMINISTRATION OFFICE 1	EX	-	RB	-	EX	PT01	DW	PT02	DW	PT01	EX	PT01	ACT	-	8'-0"	
A130	ADMINISTRATION OFFICE 2	EX	-	RB	-	DW	PT02	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A131	ADMINISTRATION OFFICE 3	EX	-	RB	-	DW	PT02	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A132	RECEPTION AREA	VCT/EX	-	RB	-	EX/DW	PT01	DW	PT03	EX	PT01	DW	PT01	ACT	-	8'-0"	
A133	PRINTER ROOM	VCT/EX	-	RB	-	DW	PT01	EX	PT01	EX	PT03	EX	PT01	ACT	-	8'-0"	
A134	FLEX ROOM	VCT/EX	-	RB	-	EX	PT01	DW	PT01	DW	PT04	EX	PT01	ACT	-	8'-0"	
A135	BUILDING DEPT. OFFICE	EX	-	RB	-	EX	PT01	DW	PT04	EX	PT01	DW	PT01	ACT	-	8'-0"	
A136	PLANNING DEPT. OFFICE	EX	-	RB	-	DW	PT04	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A137	EDO OFFICE	EX	-	RB	-	DW	PT04	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A138	FINANCE FLEX AREA	VCT/EX	-	RB	-	DW	PT01	DW	PT01	EX	PT01	DW	PT05	ACT	-	8'-0"	
A139	FINANCE OFFICE 1	VCT/EX	-	RB	-	EX	PT01	DW	PT05	EX	PT01	DW	PT01	ACT	-	8'-0"	
A140	FINANCE OFFICE 2	EX	-	RB	-	EX	PT01	DW	PT05	DW	PT01	EX	PT01	ACT	-	8'-0"	
A141	FINANCE OFFICE 3	EX	-	RB	-	DW	PT05	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A142	FINANCE OFFICE 4	EX	-	RB	-	DW	PT05	EX	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A143	BY-LAW FLEX AND OFFICE 1	EX	-	RB	-	EX	PT01	DW	PT01	DW	PT02	EX	PT01	ACT	-	8'-0"	
A144	BY-LAW AND FIRE OFFICE 2	EX	-	RB	-	EX	PT02	DW	PT01	EX	PT01	DW	PT01	ACT	-	8'-0"	
A145	FINANCE OFFICE 5	VCT/EX	-	RB	-	EX	PT01	DW	PT01	EX	PT01	DW	PT05	ACT	-	8'-0"	
A146	FINANCE OFFICE 6	EX	-	RB	-	EX	PT01	DW	PT05	DW	PT01	EX	PT01	ACT	-	8'-0"	
A147	FILE CABINET ROOM	EX	-	RB	-	DW	PT01	DW	PT05	DW/EX	PT01	DW	PT01	ACT	-	8'-0"	
A148	LUNCH ROOM AREA	VCT/EX	-	RB	-	DWW	PT01	DWW	PT01	EX	PT03	EX	PT01	ACT	-	8'-0"	
A149	CORRIDOR "F"	VCT/EX	-	RB	-	DW	PT01	EX	PT01	EX/DW	PT01	EX/DW	PT01	ACT	-	8'-0"	
A150	CORRIDOR "G"	POR	-	PORB	-	DW	PT06	DW	PT01	DW	PT01	DW	PT01	DWW	-	8'-0"	
A151	WC 01	POR	-	PORB	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT06	DWW	-	8'-0"	
A152	WC 02	POR	-	PORB	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT06	DWW	-	8'-0"	
A153	WC 03	POR	-	PORB	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT06	DWW	-	8'-0"	
A154	WC 04	POR	-	PORB	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT06	DWW	-	8'-0"	
A155	UNIVERSAL WASHROOM	POR	-	PORB	-	DWW	PT01	DWW	PT01	DWW	PT01	DWW	PT06	DWW	-	8'-0"	
A156	PUBLIC WORKS OFFICE	VCT/EX	-	RB	-	DW	PT05	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	
A157	TOWNHALL MEETING ROOM	CPT	-	RB	-	DW	PT01	DW	PT01	DW	PT02	ACT	-	-	-	14'-0"	
A158	STORAGE ROOM	EX	-	RB	-	EX	PT01	DW	PT01	EX	PT01	DW	PT01	ACT	-	14'-0"	
A159	MEETING ROOM	CPT	-	RB	-	DW	PT02	EX	PT01	EX	PT01	DW	PT01	ACT	-	14'-0"	
A160	EXISTING VESTIBULE	VCT/EX	-	RB	-	EX	PT01	EX	PT01	DW	PT01	EX	PT01	ACT	-	8'-0"	

ABBREVIATIONS

ACT	-	ACOUSTIC CEILING TILE
CBL	-	CONCRETE BLOCK
EX	-	EXISTING
DWW	-	DRYWALL (WATER RESISTANT)
DW	-	DRYWALL
POR	-	PORCELAIN TILE
PORB	-	PORCELAIN TILE BASE
PT01	-	PAINT - COLOUR 1
PT02	-	PAINT - COLOUR 2
PT03	-	PAINT - COLOUR 3
PT04	-	PAINT - COLOUR 4
PT05	-	PAINT - COLOUR 5
PT05	-	PAINT - COLOUR 6
RB	-	RUBBER BASE
VCT	-	VINYL COMPOSITE TILE
PLAM	-	HIGH PRESSURE LAMINATE PLYWOOD
PLAM	-	HIGH PRESSURE LAMINATE PLYWOOD
SDP	-	STATIC DISSIPATIVE TILE
TER	-	TERRAZO
CPT	-	HIGH TRAFFIC CARPET TILE
DOOR AND HM	-	WINDOW FRAMES
DOORS	-	DOORS



REVISIONS

NO.	DESCRIPTION	DATE
2.	ISSUED FOR ADDENDUM #1	2024.03.22
1.	ISSUED FOR TENDER/ PERMIT	2024.03.08



TOWNSHIP OF NORTH STORMONT - NEW TOWN HALL RENOVATION

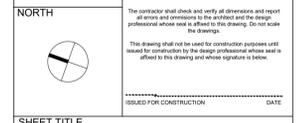
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SHEET TITLE

WINDOW AND ROOM FINISH SCHEDULE

SHEET NO.	DRAWN BY	CHECKED
A701	AW	AW
SCALE		N.T.S.